

BUILDING SPECIFICATION
THE BUILDING WORKS INCLUDED IN THE SUBJECT LAND WILL COMPLY WITH THE RELEVANT DEEMED-TO-SATISFY PROVISIONS OF THE BUILDING CODE OF AUSTRALIA 2014 (VOLUME 2)- HOUSING PROVISIONS) AND RELEVANT STANDARDS OF CONSTRUCTION.
PARTICULAR REFERENCE IS MADE TO THE FOLLOWING BCA PROVISIONS AND AUSTRALIAN STANDARDS, WHICH FORM PART OF THE APPLICATION AND WILL BE COMPLIED WITH:-
DEMOLITION:- * AS 2601 (1991) - DEMOLITION OF STRUCTURES
SITE PREPARATION:- * EARTHWORKS- TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979, CONDITION S OF DEVELOPMENT CONSENT AND THE RELEVANT REQUIREMENTS OF PART 3.1.1 OF THE BCA (VOLUME 2) * STORMWATER DRAINAGE - PART 3.1.2 IF THE BCA (VOLUME 2); AND * AS/NZS 3500 (2018) PART 3 - STORMWATER DRAINAGE * AS.NZS 3500 (2018) PART 5 - DOMESTIC INSTALLATIONS- SECTION 5- STORMWATR DRAINAGE * TERMITE PROTECTION - PART 3.1.3 OF THE BCA (VOLUME 2); AND * AS 3660.1 (2014) - PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES
FOOTINGS AND SLABS:- * FOOTINGS AND SLABS - PART 3.2 OF THE BCA (VOLUME 2); AND * AS 2870 (2011) - RESIDENTIAL SLABS AND FOOTINGS * AS 3600 (2018) - CONCRETE STRUCTURES * AS 2159 (2009) - PILING - DESIGN AND INSTALLATION * SITE CLASSIFICATION PART 3.2.4 OF THE BCA (VOLUME 2)
MASONRY:- * MASONRY CONSTRUCTION - PART 3.3 OF THE BCA (VOLUME 2) AND AS3700 (2018) -MASONRY CODE * LINTELS IN MASONRY- PART 3.3.3.4 OF THE BCA (VOLUME 2)
FRAMING:- * SUB-FLOOR VENTILATION - PART 3.4.1 OF THE BCA (VOLUME 2) * STEEL FRAMING - APRT 3.4.2 OF THE BCA (VOLUME 2) * ACCEPTABLE CONSTRUCTION PRACTICE (PART 3.4.2.1 OF THE BCA) AND / OR * AS 4100 (1998) - STEEL STRUCTURES * TIMBER WALL, FLOOR AND ROOF FRAMING - PART 3.4 OF THE BCA (VOLUME 2); AND * AS 1684 (2010) - RESIDENTIAL TIMBER- FRAME CONSTRUCTION * STRUCTURAL STEEL MEMBERS - PART 3.4.4 OF THE BCA (VOLUME 2)
ROOF AND WALL CLADDING:- * ROOF TILING - PARTS 3.5.1.1 & 3.5.1.2 OF THE BCA (VOLUME 2) AND AS 2049 (2002)- ROOF TILES * METAL ROOF SHEETING - PARTS 3.5.1.1 & 3.5.1.3 OF THE BCA (VOLUME 2) * GTTERS AND DOWNPIPES - PART 3.5.2 OF THE BCA (VOLUME 2) AND * AS/NZS 3500 (2018) PART 3 - STORMWATER DRAINAGE * AS.NZS 3500 (2018) PART 5 - DOMESTIC INSTALLATION * WALL CALDDING - PART 3.5.3 OF THE BCA (VOLUME 2)
GLAZING:- * GLAZING - PART 3.6 OF THE BCA (VOLUME 2) * AS 1288 (2006) GLASS IN BUILDINGS * AS 2047 (2014) WINDOWS IN BUILDINGS
FIRE SAFETY:- * FIRE SEPARATION - PART 3.7.1 OF THE BCA (VOLUME 2) * FIRE SEPARATION - SEPARATING WALL CONSTRUCTION - PART 3.7.1.8 OF THE BCA (VOLUME 2) * FIRE SEPARATION - ROOF LIGHTS - PART 3.7.1.10 OF THE BCA (VOLUME 2) * SMOKE ALARMS - PART 3.7.2 OF THE BCA (VOLUME 2) AND AS 3786 (2014) - SMOKE ALARM * HEATING APPLIANCES - PART 3.7.3 OF THE BCA (VOLUME 2) AND AS 2918 (2001) - DOMESTIC SOLID - FUEL BURNING APPLIANCES - INSTALLATION
HEALTH AND AMENITY:- * WET AREA - PART 3.8.1 OF THE BCA (VOLUME 2) AND AS 3740 (2010) - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS * ROOM HEIGHTS - PART 3.8.2 OF THE BCA (VOLUME 2) * KITCHEN, SANITARY AND WASHING FACILITIES - PARTS 3.8.3.2 AND 3.8.3.3 OF THE BCA (VOLUME 2) * VENTILATION - PART 3.8.5 OF THE BCA * NATURAL- PARTS 3.8.5.2 AND 3.8.5.3 OF THE BCA (VOLUME 2) * MECHANICAL - PARTS 3.8.5.0 AND 3.8.5.3 OF THE BCA (VOLUME 2) * SOUND INSULATION - PART 3.8.6.1 OF THE BCA (VOLUME 2)
SAFE MOVEMENT AND ACCESS:- * STAIRS CONSTRUCTION - PART 3.9.1.1 OF THE BCA (VOLUME 2) - ACCEPTABLE CONSTRUCTION PRACTICE * BALUSTRADES - PART 3.9.2.1 OF THE BCA (VOLUME 2) - ACCEPTABLE CONSTRUCTION PRACTICE * HANDRAILS - PART 3.8.2.4 OF THE BCA (VOLUME 2) - ACCEPTABLE CONSTRUCTION PRACTICE * PROTECTION OF OPENABLE WINDOWS - PART 3.9.2.5 OF THE BCA (VOLUME 2)- ACCEPTABLE CONSTRUCTION PRACTICE
ENERGY EFFICIENCY:- * BUILDING FABRIC - PART 3.12.1 OF THE BCA (VOLUME 2) * BUILDING SEALING - PART 3.12.3 OF THE BCA (VOLUME 2) * SERVICE - PART 3.12.5 OF THE BCA (VOLUME 2)
SWIMMING POOL SAFETY:- * SWIMMING POOL SAFETY FENCING / BARRIERS - SWIMMING POOL ACT 1992 AND REGULATION 2006 AND AS 1926 PART 1 (2010), PART 2 (2007) & PART 3 (2010)
STRUCTURAL DESIGN MANUALS:- * AS 1170.1 (1989) - DEAD AND LIVE LOADS AND LOAD COMBINATIONS * AS 1170.2 (1989) OR AS 4055 (1992) - WIND LOAD * AS 1170.4 (1993) - EARTHQUAKE LOAD * AS 1172.1 (1997) - TIMBER STRUCTURES * AS 2159 (1995) - PILING - DESIGN AND INSTALLATION * AS 3600 (2001) - CONCRETE STRUCTURES * AS 4100 (1998) - STEEL STRUCTURES

DRAWING REGISTER			
DRAWING NO	DRAWING NAME	DATE	REVISION
A.00	TITLE, NOTES, SITE DATA AND SCHEDULE	25.05.2025	E
A.01	SITE ANALYSIS PLAN	25.05.2025	E
A.02	SITE PLAN	25.05.2025	E
A.03	EXISTING FLOOR PLAN	08.05.2025	C
A.04	PROPOSED FLOOR PLAN	25.05.2025	E
A.05	ROOF PLAN	25.05.2025	E
A.06	SECTION AND ELEVATIONS	25.05.2025	E
A.07	SEDIMENT CONTROL PLAN	25.05.2025	E
A.08	BASIX CERTIFICATE REQUIREMENTS	25.05.2025	D
A.09	BASIX CERTIFICATE REQUIREMENTS	25.05.2025	D
A.10	AREAS CALCULATION	25.05.2025	E
A.11	EXISTING LANDSCAPE PLAN	25.05.2025	E
A.12	DEMOLITION PLAN	08.05.2025	C

WINDOW SCHEDULE				
WINDOW NO.	WINDOW SIZE (HxW)	NOTE	FLOOR LEVEL	LOCATION
W1	600 x 900	ALUMINIUM SLIDING WINDOW (FROST)	Ground	SOUTH
W2	600 x 600	ALUMINIUM AWNING WINDOW (FROST)	Ground	SOUTH
W3	600 x 600	ALUMINIUM AWNING WINDOW (FROST)	Ground	SOUTH
W4	900 x 1500	ALUMINIUM SLIDING WINDOW	Ground	SOUTH
W5	2100 x 1500	ALUMINIUM SLIDING DOOR	Ground	WEST
W6	900 x 1500	ALUMINIUM SLIDING WINDOW	Ground	WEST
W7	450 x 900	ALUMINIUM SLIDING WINDOW (FROST)	Ground	NORTH
W8	600 x 2100	ALUMINIUM FIXED WINDOW	Ground	NORTH

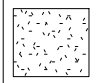
DOOR SCHEDULE				
DOOR NO.	DOOR (HxW)	NOTE	FLOOR LEVEL	TOTAL
D01	2050 x 820	SOLID CORE TIMBER DOOR WITH WATERPROOF ADHESIVES	Ground	1
D02	2050 x 820	SOLID CORE TIMBER DOOR WITH WATERPROOF ADHESIVES	Ground	4
D03	2050 x 720	SOLID CORE TIMBER DOOR WITH WATERPROOF ADHESIVES	Ground	1

AUSTRALIAN STANDARD COMPLIANCE	NCC/BCA COMPLIANCE
BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS - AS/NZS 1664 ALUMINIUM STRUCTURES. - AS/NZS 1905 COMPONENTS FOR THE PROTECTION OF OPENING. - AS 2050 INSTALLATION OF ROOF TILES - AS2047 WINDOWS IN BUILDING- SELECTION AND INSTALLATION. - AS 3660 PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES. - AS 2327 COMPOSITE STRUCTURES - AS 2870 RESIDENTIAL SLAB AND FOOTINGS CONSTRUCTION. - AS 1684 RESIDENTIAL TIMBER- FRAMED CONSTRUCTION. - AS 3770 MASONRY STRUCTURES. - AS 3740 WATERPROOFING OF WET AREAS. - AS 3013 ELECTRICAL INSTALLATIONS. - AS 1668 THE USE OF MECHANICAL VENTILATION AND AIR CONDITION IN BUILDING. - AS 3786 SMOKE ALARM. - AS 1288 GLASS IN BUILDING- SELECTION AND INSTALLATION.	VOLUME TWO (CLASS 1 AND CLASS 10) SECTION 1 (GENERAL PROVISIONS) PART 1.3 CLAUSE 1.3.2 : CLASSIFICATION - BUILDING CLASSIFIED AS CLASS 1A SECTION 3 (ACCEPTABLE CONSTRUCTION) BUILDINGS SHALL BE CONSTRUCTION IN ACCORDANCE WITH: - PART 3.1.3 TERMITE RISE MANAGEMENT - PART 3.3.4 WEATHER PROOFING OF MASONRY - PART 3.5.1 ROOF CLADDING - PART 3.5.2 GUTTERS AND DOWNPIPES - PART 3.5.6 WALL CLADDING - PART 3.6 GLAZING - PART 3.7.2 SMOKE ALARM - PART 3.7.3 HEATING APPLIANCES - PART 3.8.1 WET AREAS - PART 3.8.3 FACILITIES - PART 3.8.4 LIGHT - PART 3.8.6 SOUND INSULATION - PART 3.9.1 STAIR CONSTRUCTION - PART 3.9.2 BALUSTRADE - PART 3.9.2.6 PROTECTION OF OPERABLE WINDOWS

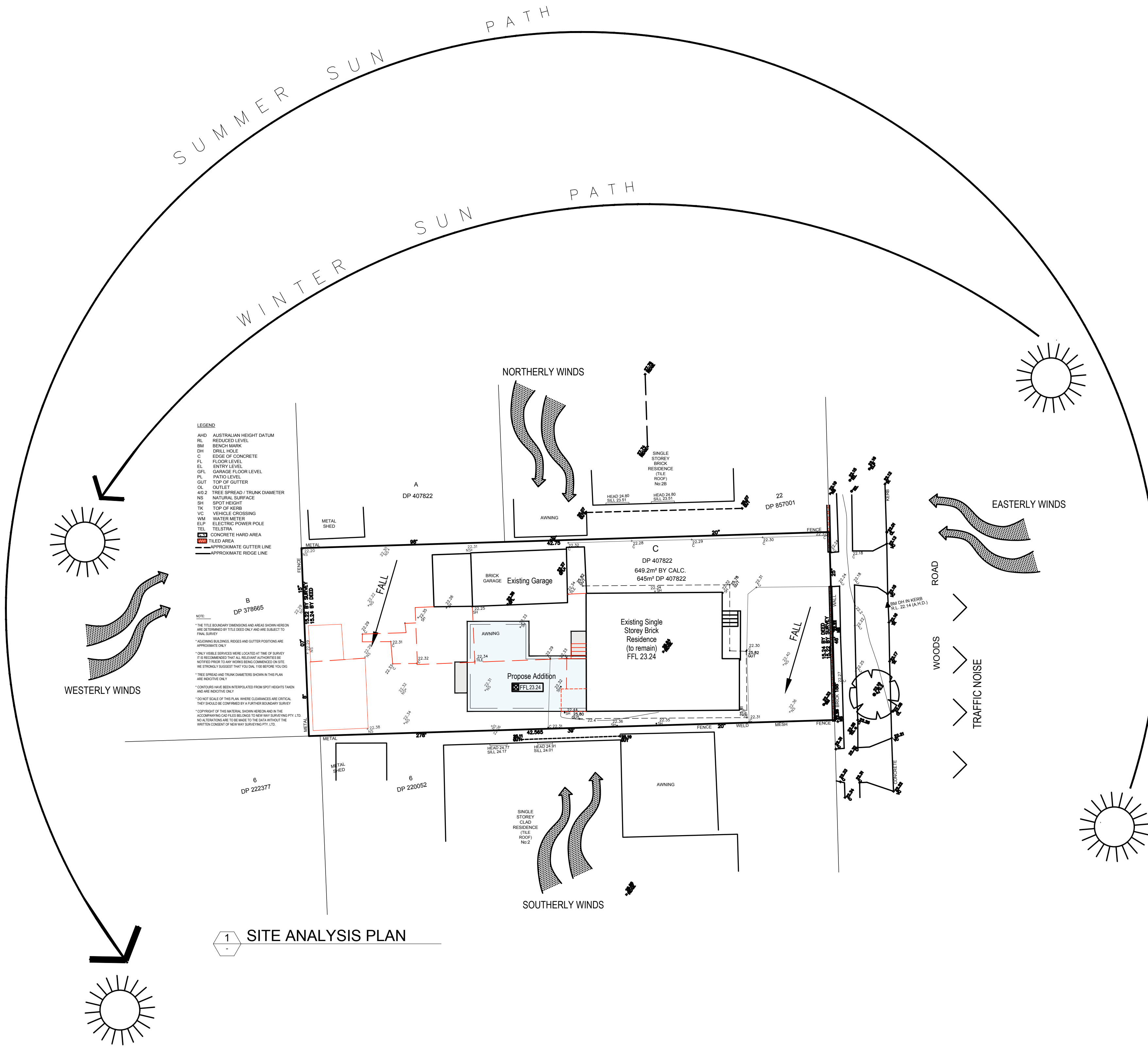
BASIX COMMITMENT
- THE APPLICANT MUST INSTALL ELECTRIC HEAT PUMP HOT WATER SYSTEM. - 40% OF THE NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING -DIODE (LED) LAMPS. - SHOWERHEAD TO BE 3 STARS OR FLOW RATE NO GREATER THAN 9 LITRES PER MINUTES - TOILET TO BE MIN. 3 STAR WATER RATING OR FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH. - ALL TAPS TO BE MIN. 3 STAR WATER RATING OR FLOW RATE NO GREATER THAN 9 LITRES PER MINUTES. - R2.0 TO SUSPENDED FLOOR. - R2.0 TO EXTERNAL WALL (BRICK VENEER). - R3.0 CEILING WITH ROOF FOIL/SARKING. - INSTALLATION OF THE WINDOWS, GLAZED DOOR AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS AS PER BASIX CERTIFICATE. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR. - THE LEADING EDGES OF EACH EAVE MUST BE NO MORE THAN 500MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400MM ABOVE THE SILL. - THE RATION OF THE PROJECTION FROM THE WALL TO THE HEIGHT ABOVE THE WINDOW OR GLAZED DOOR SILL NE ME AT LEAST THAT SHOWN IN THE TABLE AS PER BASIX CERTIFICATE. - OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT AND DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOOR, AS SPECIFIED IN THE "OVERSHADOWING" COLUMN IN THE TABLE AS PER BASIX CERTIFICATE. - WINDOW/GLAZED DOOR- STANDARD ALUMINIUM : SINGLE CLEAR, (OR U-VALUE: 7.63,SHGC: 0.75). SINGLE PYROLYTIC LOW-E (U-VALUE:5.7,SHGC:0.47)

COMPLIED DEVELOPMENT REQUIREMENTS SCHEDULE			
SITE DETAILS			
LGA CONTROL LOT NO./DP NO.	CANTERBURY-BANKSTOWN COUNCIL LOT C /DP407822	ZONE & LOT WIDTH SITE AREA	R2 15m 649.2m²
SITE DATA	SEPP COMPLIANCE	PROVIDED	COMPLY (Y/N)
	REQUIRED		
SIDE SETBACK	SOUTH BOUNDARY - 0.9m NORHT BOUNDARY - 0.9m	SOUTH BOUNDARY BOUNDARY - 1.03m (EXISTING BLD) BOUNDARY - min. 1.315m (PROPOSE ADDITION) NORHT BOUNDARY BOUNDARY - 4.61m (EXISTING BLD) BOUNDARY - 6.33m (PROPOSE ADDITION)	Y Y
STREET SETBACK	MIN. 5.5m	MIN. 7.675m FROM EXISTING BLD	Y
REAR SETBACK	MIN. 3m	MIN. 11.94m	Y
BUILDING HEIGHT	MAX. HEIGHT 2 STOREY (9m)	Max.6.35m	Y
LANDSCAPEING REQUIREMENTS	* MINIMUM 45% OF THE AREA BETWEEN THE DWELLING HOUSE AND THE PRIMARY STREET FRONTAGE 122.23m² x 45% = 55.0035 m²	PROVIDE 279.1m² FRONT LANDSCAPE = 70.1m² (infront of the building line) REAR LANDSCAPE = 209.1m² (behind the building line)	Y Y
PRIVATE OPEN SPACE	80m² BEHIND THE FRONT BUILDING LINE WITH MINIMUM WIDTH 5m	REAR LANDSCAPE AREA = 209.1m²	Y
GROSS FLOOR AREA CALCULATION	50% OF THE LOT SIZE 649.2m2 x 50% = 324.6m²	MAIN DWELLING- 102.8m² PROPOSED ADDITION - 47.7 m² TOTAL= 150.5m²	Y
SITE COVERAGE		212.3m²	Y
CAR PARKING & ACCESS	REQUIRED 2 SPACE	PROVIDED 2 SPACES GARAGE SETBACK- min. 20m	Y

CONSTRUCTION NOTE	
* CAR PARKING AREAS TO COMPLY WITH AS 2890. * ALL ASPECTS OF THE BUILDING WORKS SHALL COMPLY WITH THE RELEVANT PROVISIONS OF HE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA. * ALL SERVICES TO BE COMPLY TO THE RELEVANT ENGINEER'S DETAILS AND SPECIFICATIONS. * PROVIDE SELF CONTAINED SMOKE ALARMS- TO COMPLY WITH PART E.2 OF THE BCA. * INTERNAL BATHROOMS, LAUNDRY& ENSUITES VENTILATION- TO ENGINEER'S DETAILS AND REQUIREMENTS. * ALL MATERIALS OR COMPONENTS SHALL COMPLY WITH EARLY HAZARD INDICIES REQUIREMENTS OF SPECIFICATION C1.10 OF THE BCA. * ALL LIGHTWEIGHT CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSE C1.8 OF THE BCA. * ALL SERVICES PASSING THROUGH FLOORS COMPLY WITH SPECIFICATION C.11 & CLAUSE C3.12 OF THE BCA. * PROTECT ALL OPENINGS IN WALL IN ACCORDANCE WITH CLAUSE C3.13 OF THE BCA. * SERVICE PENETRATIONS THROUGH BUILDING ELEMENTS REQUIRED TO BE FIRE RESISTING AND TO BE PROTECTED IN ACCORDANCE WITH THE CLAUSE C3.15 OF THE BCA. * ALL CONSTRUCTION JOINTS AND SPACES BETWEEN BUILDING ELEMENTS REQUIRED TO BE FIRE RESISTING SHALL BE PROTECTED IN ACCORDANCE WITH C3.16 OF THE BCA. * WET AREAS IN BATHROOMS, TOILETS, LAUNDRIES & KITCHEN SHALL BE WATERPROOF IN ACCORDANCE WITH CLAUSE F1.7 OF THE BCA. * TERMITE PROTECTION TO BE PROVIDE IN ACCORDANCE WITH AS 3660. * PROVIDE MAIL BOX IN ACCORDANCE WITH AUSTRALIAN POST GUIDELINES AND AS/NZS 4819 (2003). * PROVIDE HOUSE NUMBERING ACCORDANCE WITH COUNCIL'S LAND INFORMATION SYSTEM BRANCH AND AS/NXS 4819 (2003). * MATERIALS AND CONSTRUCTION METHODS NEED TO BE INCORPORATED WITH COUNCIL "BUILDING IN SALINE ENVIRONMENTS POLICY". * APPROVED WASTE MANAGEMENT PLAN MUST BE ADHERED TO THROUGHOUT ALL STAGES OF THE DEMOLITION AND/ OR CONSTRUCTION PROCESS. * DEMOLITION SHALL COMPLY WITH AS 2601-2001. * REFER TO BASIX CERTIFICATE FOR ALL WATER , THERMAL AND GLAZING REQUIREMENTS.	

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
1. ALL ACCESS TO SITE IS TO BE APPROVED BY SITE SUPERVISOR. 2. DO NOT WORK OUTSIDE OF APPROVED HOURS UNLESS APPROVED BY COUNCIL. 3. COUNCIL HOURS SET AS: MONDAY TO FRIDAY- 7.00AM TO 5.00PM SATURDAY- 7.00AM TO 12.00PM SUNDAY- NO WORK PUBLIC HOLIDAYS- NO WORK	1. ALL RETAINING WALLS TO BE COMPLETED TO SENSITIVE DETAILS (IF REQUIRED). 2. DISH DRAINING (IF REQUIRED) TO AUTHORITIES REQUIREMENTS. 3. DEMOLITION BY OWNER. ALL EXISTING TREES, STUMPS, CONCRETE PATHS, BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO SECOND SITE INSPECTION. 4. CONNECTION TO SEWER AND DRAINAGE EASEMENT TO BE TERMINATED AND CAPPED OFF BY OWNER'S TRADES PRIOR TO COMMENCEMENT OF WORKS BY MASTERION.	1. TO FORM DATUM APPROXIMATE. 2. EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL AGAINST FOOT OF SLAB. 3. SITE NOT FLOOD AFFECTED-DESIGN LEVELS MAY VARY BY +/- 100mm. 4. SEWER CONNECTION TO AUTHORITIES REQUIREMENTS AS PER TENDER. 5. WATER CONNECTION TO SUPPLY AUTHORITIES MAIN AS PER TENDER. REBUILD ONLY. 6. TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS. 7. SITE LEVELS SUBJECT TO SECOND SITE INSPECTION (KNOCKDOWN AND REBUILD ONLY). 8. SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE / BOUNDARY POSITIONS AND DRIVEWAY GRADIENT. 9. SUBJECT TO POSITION OF SERVICES. 10. PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL.
SITE LEGEND		
 HATCHING INDICATES EXTENT OF CUT EXCAVATION		

Project		Drawing		Revision	
DRAWN	KC	CHECKED	KC	A	SKETCH PLAN FOR APPROVAL
PROJ. NO.	2024/SEFTON	SCALE	1:200 on A1, 1:400 on A3	B	SKETCH PLAN FOR APPROVAL
DATE	25.05.2025	DATE	25.05.2025	C	CONSULTANT ISSUE
PROJECT TITLE		PROJECT TITLE		D	CONSULTANT ISSUE
PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING		2A WOODS ROAD SEFTON 2162		E	ISSUE FOR DEVELOPMENT APPLICATION
LOT C, DP 407822		A.00		THIS PLAN IS THE EXCLUSIVE PROPERTY OF K&C CONSULTANTS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART IN ANY WITHOUT PRIOR WRITTEN PERMISSION OF THE COMPANY DIRECTOR.	
Do not scale from drawings. Verify all dimensions on site before commencing work.		K&C CONSULTANTS		15.10.2024 04.02.2025 08.03.2025 06.04.2025 25.05.2025	
PROJECT		DRAWING		REVISION	



SITE ANALYSIS

ITEMS	DESCRIPTION	COMMENT
1.	SITE DIMENSIONS	SHOWN ON PLAN
2.	SITE AREA	649.2 m ²
3.	NORTH POINT	SHOWN ON PLAN
4.	EXISTING BUILDING LOCATION USE HEIGHT	SHOWN ON PLAN RESIDENCE SINGLE STOREY
5.	ADJACENT BUILDINGS NORTH BOUNDARY USE SOUTH BOUNDARY USE WEST BOUNDARY USE	RESIDENCE RESIDENCE RESIDENCE
6.	LOCATION OF: BUS STOPS	APPROX. 250 METERS
7.	TREE POSITIONS ON SITE	AS SHOWN ON PLAN
8.	PEDESTRIAN & VEHICULAR ACCESS & THROUGH THE SITE	AS SHOWN ON PLAN
9.	EXISTING SPOT LEVELS	AS SHOWN ON PLAN
10.	UTILITY SERVICES WATER METER TELSTRA KERB CROSSING FOOTPATH	AS SHOWN ON PLAN AS SHOWN ON PLAN AS SHOWN ON PLAN AS SHOWN ON PLAN
11.	EXISTING VIEW LINES TO, FROM & THROUGH THE SITE	VIEWS OF NEIGHBOURING PROPERTIES AND PUBLIC RESERVE
12.	SIGNIFICANT NOISE SOURCES	FROM WOODS ROAD
13.	PREVAILING WINDS	AS SHOWN ON PLAN
14.	PREVIOUS USE CONTAMINATED SOILS FILLED AREA	NIL NIL

Project

Design by:

Drawn

Checked

2024/SEFTON

1:200 on A1, 1:400 on A3

25.05.2025

PROPOSED RENOVATIO, EXTENSION
AND SECONDARY DWELLING

2A WOODS ROAD SEFTON 2162

LOT C, DP 407822

A.01

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2A WOODS ROAD SEFTON 2162

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A.01

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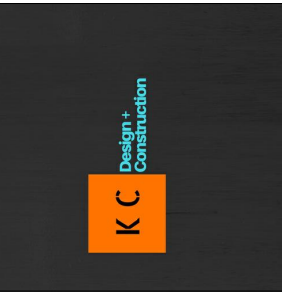
PROPOSED RENOVATIO, EXTENSION
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2A WOODS ROAD SEFTON 2162

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A.01

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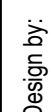
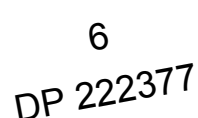
15.10.2024
04.02.2025
08.03.2025
06.04.2025
25.05.2025

SKETCH PLAN FOR APPROVAL
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CONSULTANT ISSUE
CONSULTANT ISSUE
ISSUE FOR DEVELOPMENT APPLICATION

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CONSTRUCTION AND MUST NOT BE
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PRIOR WRITTEN PERMISSION OF THE
COMPANY DIRECTOR.

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
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SITE LEGEND
HATCHING INDICATES EXTENT OF CUT EXCAVATION



Do not scale from drawings.
Verify all dimensions on site before commencing work.



AHD	AUSTRALIAN HEIGHT DATUM
RL	REDUCED LEVEL
BM	BENCH MARK
DH	DRILL HOLE
C	EDGE OF CONCRETE
FL	FLOOR LEVEL
EL	ENTRY LEVEL
GFL	GARAGE FLOOR LEVEL
PL	PATIO LEVEL
GUT	TOP OF GUTTER
OL	OUTLET
0/0.2	TREE SPREAD / TRUNK DIAMETER
NS	NATURAL SURFACE
SH	SPOT HEIGHT
TK	TOP OF KERB
VC	VEHICLE CROSSING
WM	WATER METER
ELP	ELECTRIC POWER POLE
TEL	TELSTRA
	CONCRETE HARD AREA
	TILED AREA
---	APPROXIMATE GUTTER LINE
---	APPROXIMATE RIDGE LINE

NOTE:

* THE TITLE BOUNDARY DIMENSIONS AND AREAS SHOWN HEREON
ARE DETERMINED BY TITLE DEED ONLY AND ARE SUBJECT TO
FINAL SURVEY

* ADJOINING BUILDINGS, RIDGES AND GUTTER POSITIONS ARE APPROXIMATE ONLY

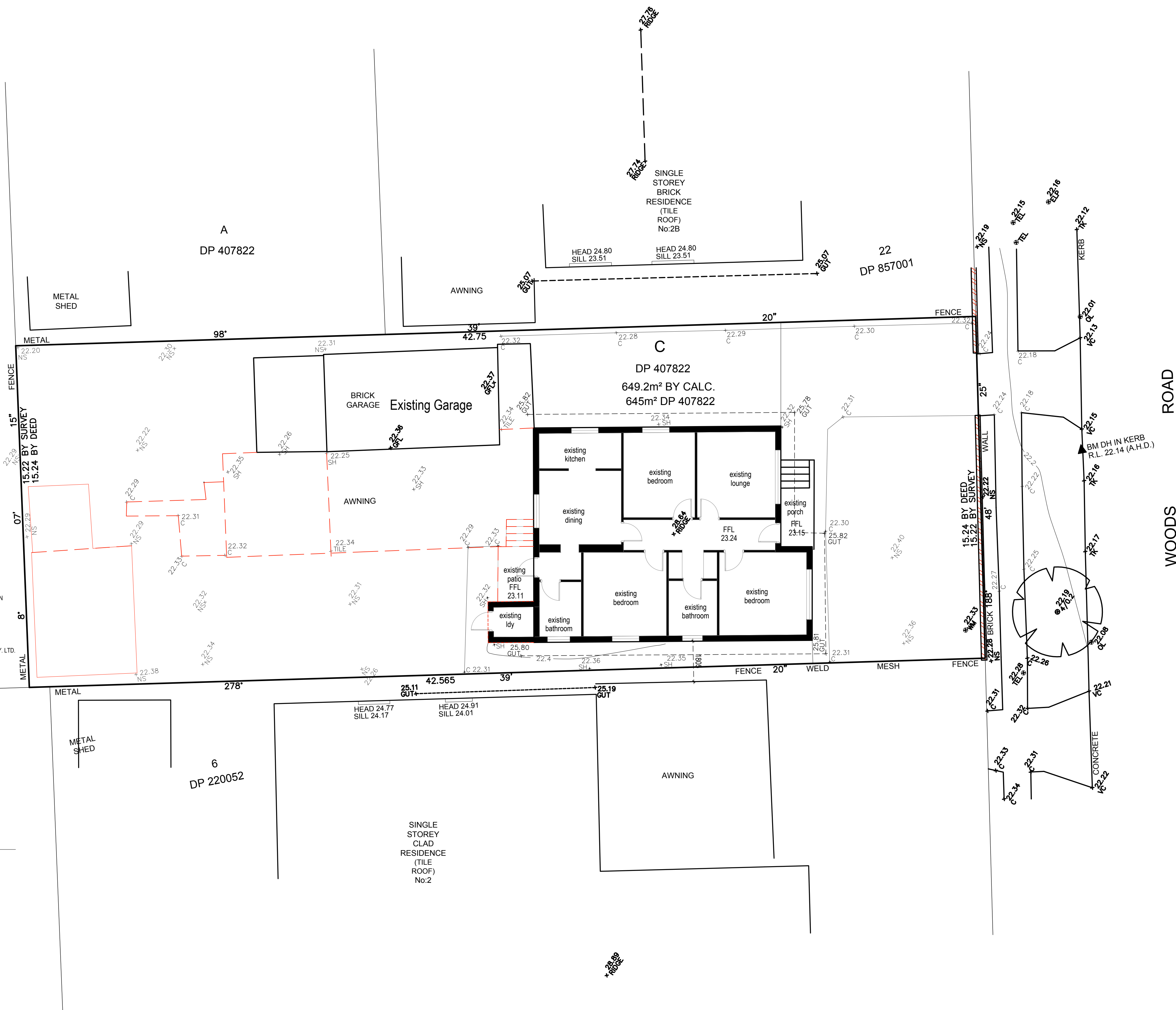
* ONLY VISIBLE SERVICES WERE LOCATED AT TIME OF SURVEY
IT IS RECOMMENDED THAT ALL RELEVANT AUTHORITIES BE
NOTIFIED PRIOR TO ANY WORKS BEING COMMENCED ON SITE.
WE STRONGLY SUGGEST THAT YOU DIAL 1100 BEFORE YOU DIG

* TREE SPREAD AND TRUNK DIAMETERS SHOWN IN THIS PLAN ARE INDICATIVE ONLY

* CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS TAKEN AND ARE INDICATIVE ONLY

* DO NOT SCALE OF THIS PLAN. WHERE CLEARANCES ARE CRITICAL
THEY SHOULD BE CONFIRMED BY A FURTHER BOUNDARY SURVEY

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NO ALTERATIONS ARE TO BE MADE TO THE DATA WITHOUT THE
WRITTEN CONSENT OF NEW WAY SURVEYING PTY. LTD.



SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
1. ALL ACCESS TO SITE IS TO BE PROVIDED BY THE CONTRACTOR 2. NO WORK DONE OUTSIDE OF THE EXCAVATION 3. APPROVED BY COUNCIL 4. MONDAY TO FRIDAY 5. SUNDAY 6. PUBLIC HOLIDAYS	1. ALL RETAINING WALLS TO BE EXCAVATED TO 10% BELOW (OR REQUIRED) 2. ALL EXISTING SERVICES TO BE REMOVED OR REQUIRED TO AUTHORITIES' REQUIREMENTS 3. ALL EXISTING TREES, STUMPS AND BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING FOOTPRINT TO SECOND SITE INSPECTION 4. CONNECTION TO SEWER AND DRAINAGE EASEMENT TO BE TERMINATED AND CARRIED OFF BY OWNER'S TRADES PRIOR TO COMMENCEMENT OF WORKS BY MASTERMANT	TO FORM DATUM APPROPRIATE EXTENT OF EXCAVATION TO BE DETERMINED ON SITE BACKFILL AROUND FOOT OF SLAB 1. EXCAVATION TO BE 10% BELOW LEVEL MAY VARY BY 10-15mm 2. SLAB FLOOR AFFECTER-REFER TO LEVEL BELOW 3. EXCAVATION TO AUTHORITIES' REQUIREMENTS PER TEMPORARY 4. CONNECTION TO AUTHORITIES' MANAS PER TEMPORARY 5. PROTECTIVE PROTECTIVE FENCE TO MEET TO MEET SAFETY 6. SITE SUBJECT TO A SECOND SITE INSPECTION (NOOKDOWN AND EXCAVATION) 7. SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE / BOUNDARY POSITIONS (DRAWING) 8. SUBJECT TO POSITION OF SERVICES 9. PROVIDE A CHECK SURVEY TO CENTER/CITY APPROVED PLS
HATCHING INDICATES EXISTING CUT/ EXCAVATION		

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COMPANY DIRECTOR.

Revision

Design by:

Drawing

Project

15.10.2024

04.02.2025

08.03.2025

A

B

C

SKETCH PLAN FOR APPROVAL

SKETCH PLAN FOR APPROVAL

CONSULTANT ISSUE

K C

KC Design & Construct

PROPOSED RENOVATIO. EXTENSION
AND SECONDARY DWELLING

2A WOODS ROAD SEFTON 2162
LOT C, DP 407822

PROJ.NO. 2024SEFTON

SCALE 1:100 on A1, 1:200 on A3

DATE 08.03.2025

DRAWN KC

CHECKED KC

EXISTING FLOOR PLAN

A.03

C

Do not scale from drawings.
Verify all dimensions on site before commencing work.



LEGEND

AHD	AUSTRALIAN HEIGHT DATUM
RL	REDUCED LEVEL
BM	BENCH MARK
DH	DRILL HOLE
C	EDGE OF CONCRETE
FL	FLOOR LEVEL
EL	ENTRY LEVEL
GFL	GARAGE FLOOR LEVEL
PL	PATIO LEVEL
GUT	TOP OF GUTTER
OL	OUTLET
4/0.2	TREE SPREAD / TRUNK DIAMETER
NS	NATURAL SURFACE
SH	SPOT HEIGHT
TK	TOP OF KERB
VC	VEHICLE CROSSING
WM	WATER METER
ELP	ELECTRIC POWER POLE
TEL	TELSTRA
	CONCRETE HARD AREA
	TILED AREA
	APPROXIMATE GUTTER LINE
	APPROXIMATE RIDGE LINE

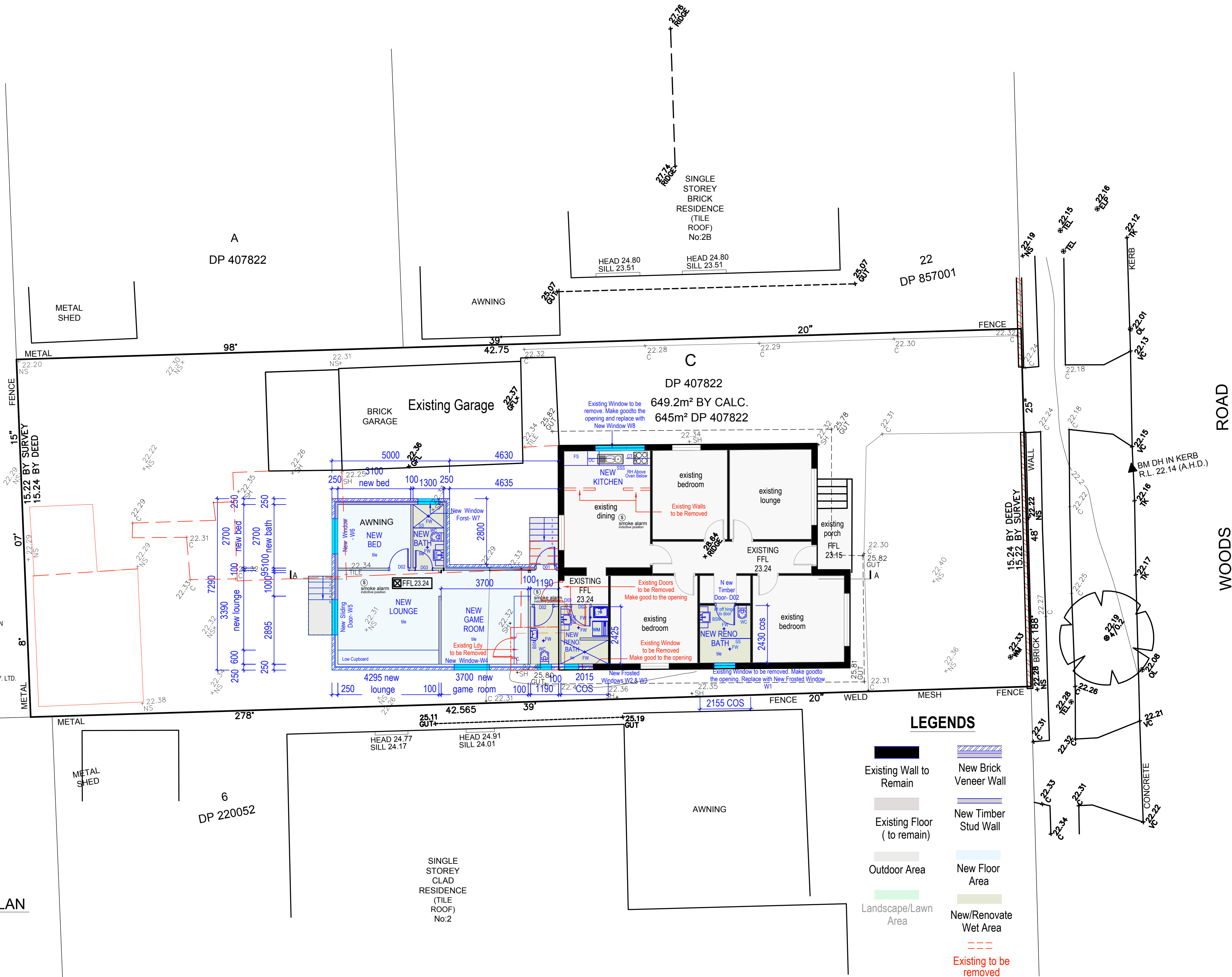
NOTE:

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1 PROPOSED FLOOR PLAN

BDY	BOUNDARY	LDY	LAUNDRY
CPD	CUPBOARD	LT	LAUNDRY TUB
CT	COOKTOP	OV	OVEN
D	DOOR	OG	OBSOLETE GLASS
DW	DISHWASHER	PWR	POWDER ROOM
DRY	DRYER	RH	RANGEHOOD
EM	ELECTRICITY METER	RB	RENDERED BRICK
FB	FACE BRICK	RWT	RAINWATER TANK
FG	FIXED GLASS	S	SMOKE ALARM
FFL	FINISH FLOOR LEVEL	SSS	STAINLESS STEEL SINK
FW	FLOOR WASTE	WC	WASHING CLOSET
GHR	GLASS HAND RAIL	W	WINDOW
GB	GLASS BALUSTRADE	WB	WASHING BASIN
HWU	HOT WATER UNIT	WM	WASHING MACHINE

* WET AREAS SHALL COMPLY WITH PART 10.2 OF THE NCC.
* ROOF VENTILATION COMPLY WITH PART 10.8 OF THE NCC.



LEGENDS

	Existing Wall to Remain		New Brick Veneer Wall
	Existing Floor (to remain)		New Timber Stud Wall
	Outdoor Area		New Floor Area
	Landscape/Lawn Area		New/Renovate Wet Area
	Existing to be removed		

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
1. ALL ACCESS TO SITE IS TO BE APPROVED BY SITE SUPERVISOR. 2. DO NOT WORK OUTSIDE OF APPROVED HOURS UNLESS APPROVED BY COUNCIL. 3. COUNCIL HOURS SET AS: MONDAY TO FRIDAY - 8:00 AM TO 5:00 PM SATURDAY - 8:00 AM TO 12:00 PM SUNDAY - NO WORK PUBLIC HOLIDAYS - NO WORK	1. ALL RETAINING WALLS TO BE COMPLETED TO FINISH DETAILS (IF REQUIRED). 2. DISH DRAINING (IF REQUIRED) TO AUTHORITIES REQUIREMENTS. 3. DEMOLITION BY OWNER. 4. ALL EXISTING TREES, STUMPS, CONCRETE PATHS, BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO SECOND SITE INSPECTION. 5. CONNECTION TO SEWER AND DRAINAGE EASEMENT TO BE TERMINATED AND CAPPED OFF BY OWNER'S TRADES PRIOR TO COMMENCEMENT OF WORKS BY MASTERON.	1. TO FORM DATUM APPROXIMATELY 100mm BELOW FINISH FLOOR LEVEL. 2. EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. 3. SITE NOT FLOOD AFFECTED-REFER TO FLOOD LEVEL BELOW. 4. SEWER CONNECTION TO AUTHORITIES REQUIREMENTS AS PER TENDER. 5. WATER CONNECTION TO SUPPLY AUTHORITIES MAIN AS PER TENDER. 6. TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS. 7. SITE LEVELS SUBJECT TO SECOND SITE INSPECTION (KNOCKDOWN AND REBUILD ONLY). 8. SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE / BOUNDARY POSITIONS AND DRIVEWAY GRADIENT. 9. SUBJECT TO POSITION OF SERVICES. 10. PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL.

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Revision	Design by:	Project
A	SKETCH PLAN FOR APPROVAL	PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING
B	SKETCH PLAN FOR APPROVAL	2A WOODS ROAD SECTON 2162
C	CONSULTANT ISSUE	
D	CONSULTANT ISSUE	
E	ISSUE FOR DEVELOPMENT APPLICATION	

15.10.2024	04.02.2025	08.03.2025	06.04.2025	25.05.2025
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Design by:

Drawing

Project

PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING
2A WOODS ROAD SECTON 2162

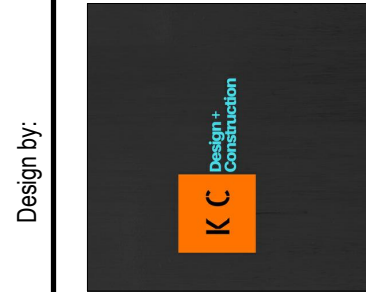
PROJ. NO. 2024/SECTON
SCALE 1:100 on A1, 1:200 on A3
DATE 25.05.2025

DRAWN KC
CHECKED KC

PROPOSED FLOOR PLAN

A.04
E

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Verify all dimensions on site before commencing work.



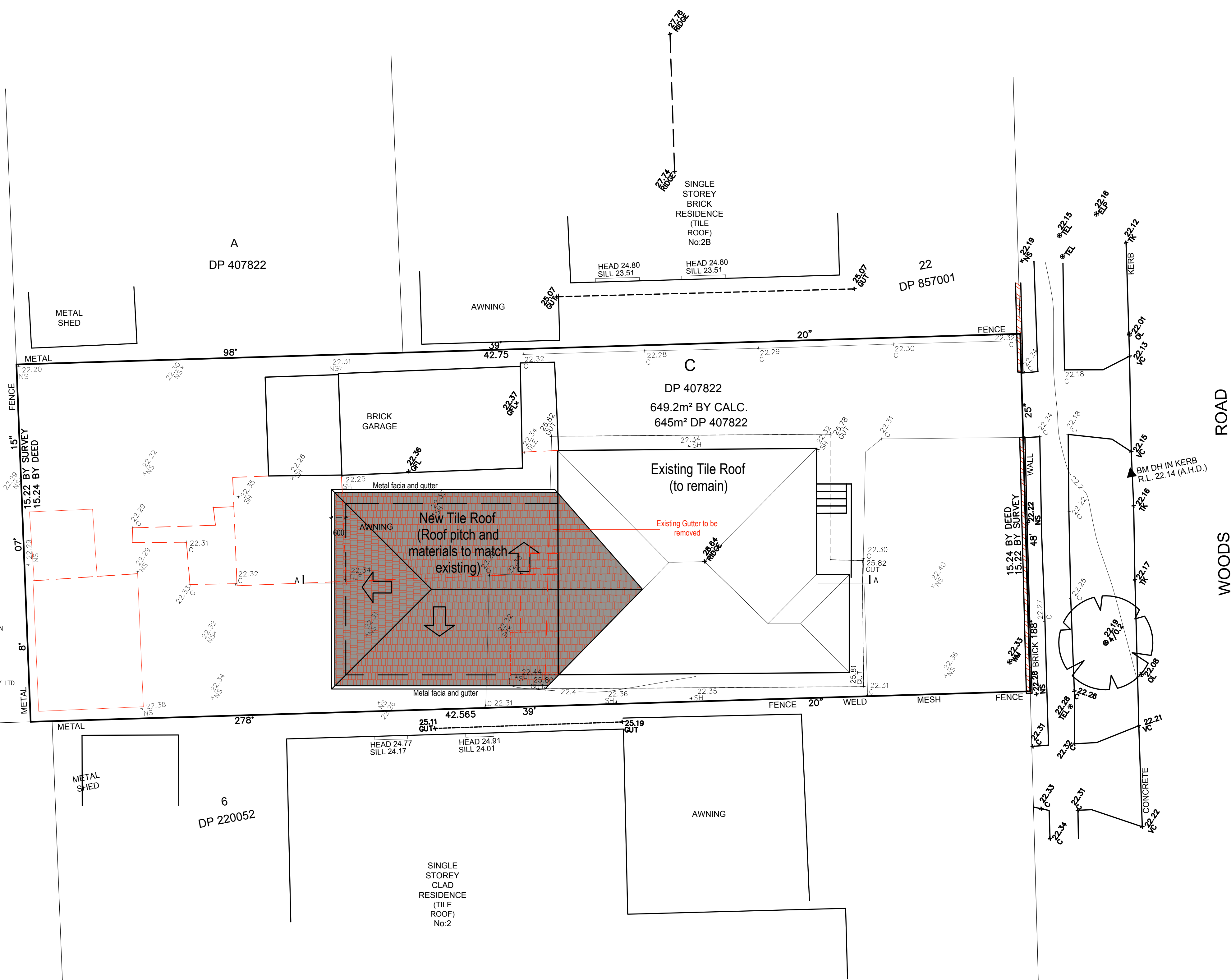
LEGEND

- AHD AUSTRALIAN HEIGHT DATUM
RL REDUCED LEVEL
BM BENCH MARK
DH DRILL HOLE
C EDGE OF CONCRETE
FL FLOOR LEVEL
EL ENTRY LEVEL
GFL GARAGE FLOOR LEVEL
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4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
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TK TOP OF KERB
VC VEHICLE CROSSING
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1 ROOF PLAN



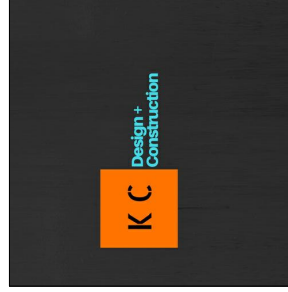
SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
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SITE LEGEND		
HATCHING INDICATES EXTENT OF CUT EXCAVATION		

Revision

Revision	Sketch Plan for Approval	Issue
A	SKETCH PLAN FOR APPROVAL	15.10.2024
B	SKETCH PLAN FOR APPROVAL	04.02.2025
C	CONSULTANT ISSUE	08.03.2025
D	CONSULTANT ISSUE	06.04.2025
E	ISSUE FOR DEVELOPMENT APPLICATION	25.05.2025

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Design by:



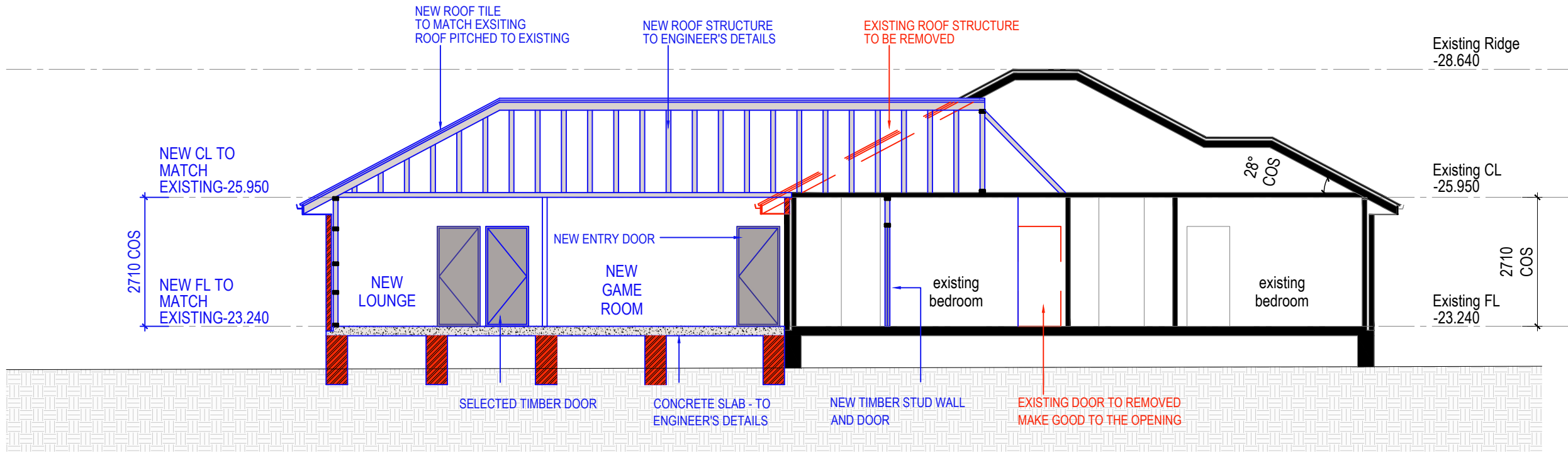
Drawing

Drawn	Checked	Roof Plan
KC	KC	

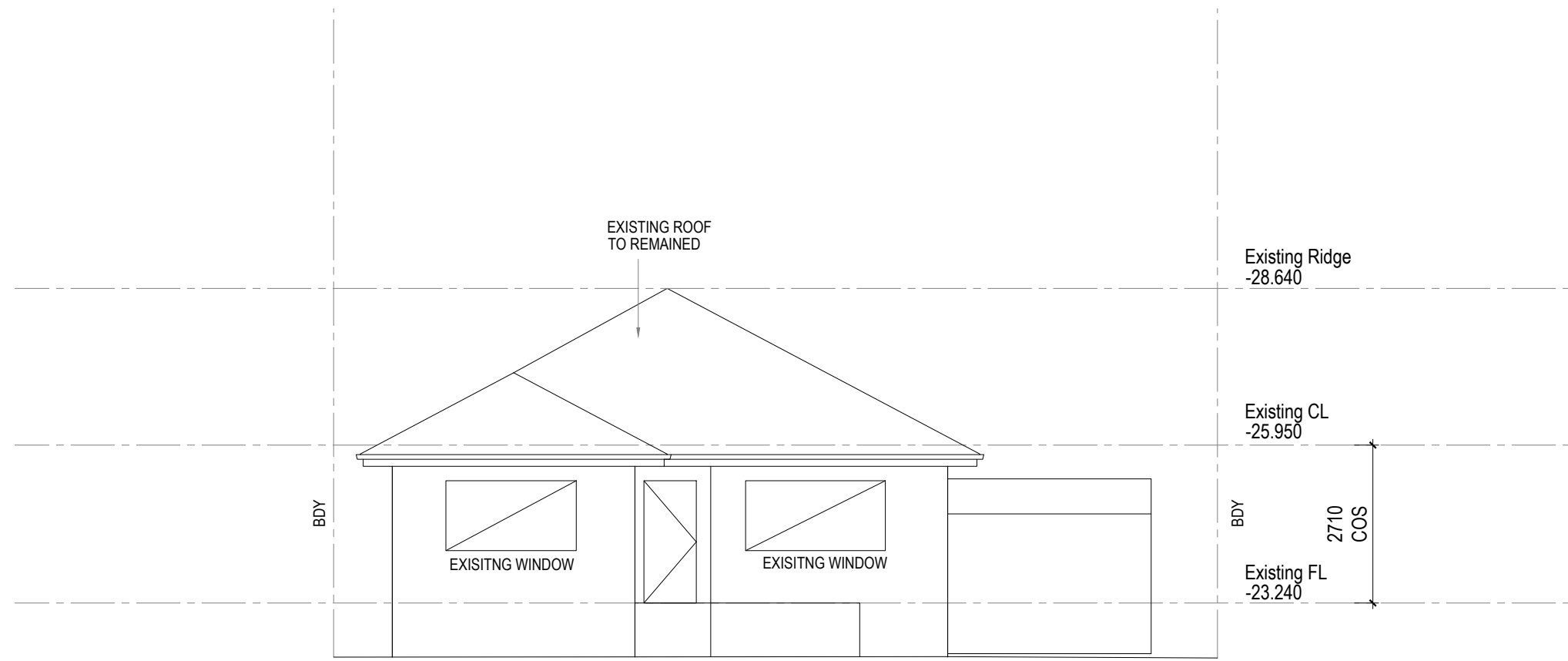
PROJ. NO. 2024/SEFTON
SCALE 1:100 on A1, 1:200 on A3
DATE 25.05.2025

PROPOSED RENOVATIO, EXTENSION
AND SECONDARY DWELLING
2A WOODS ROAD SEFTON 2162
LOT C, DP 407822
A.05
E

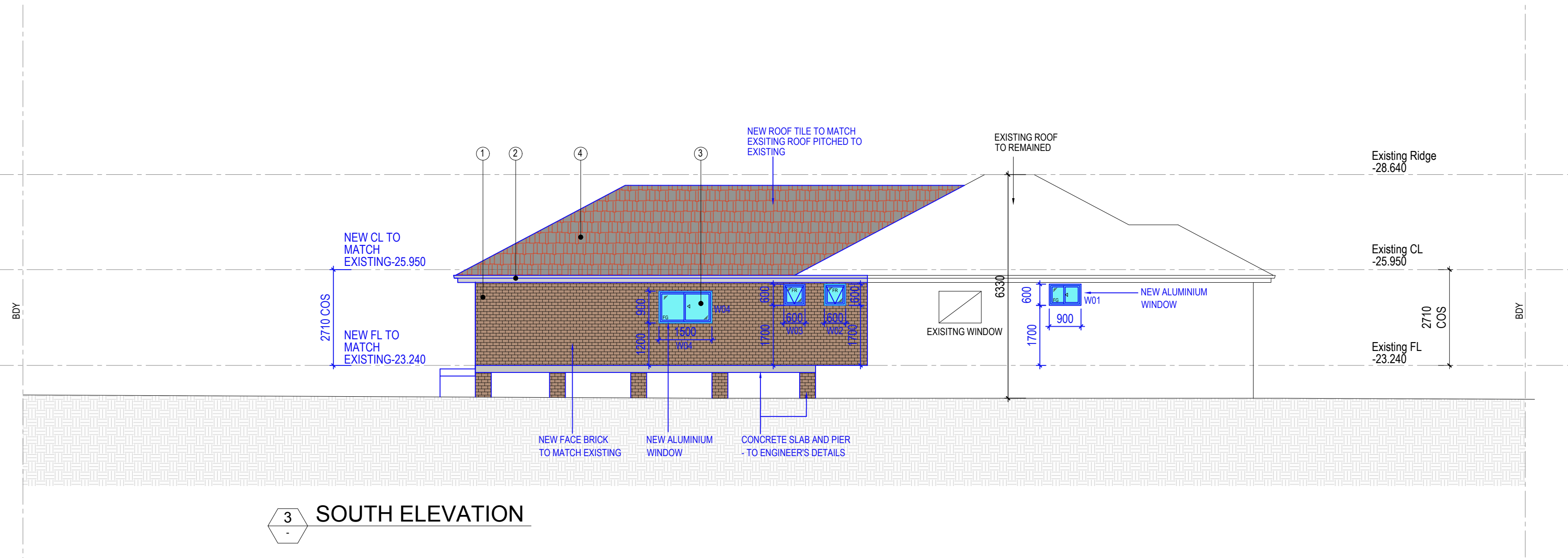
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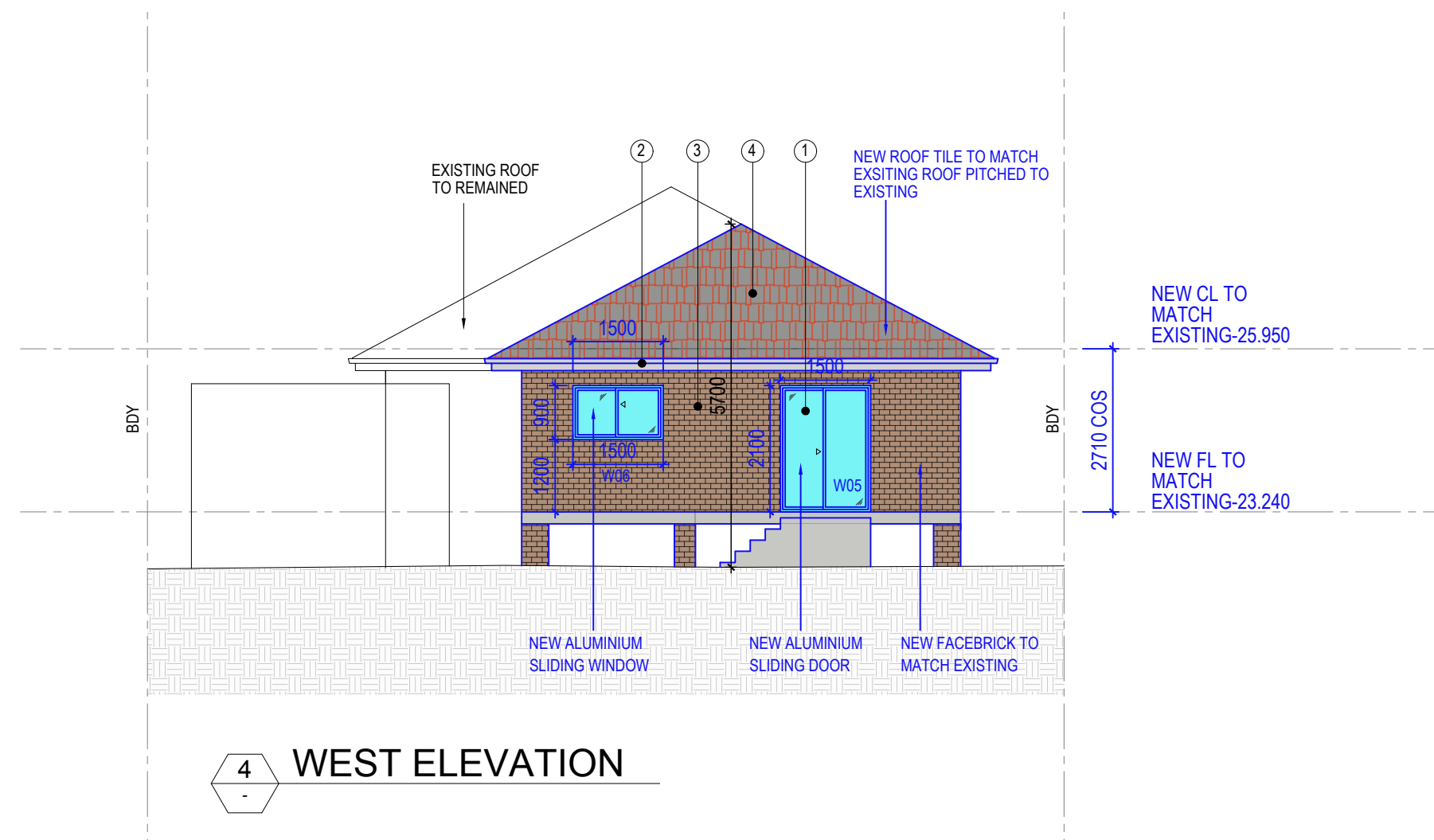
1 SECTION A-A



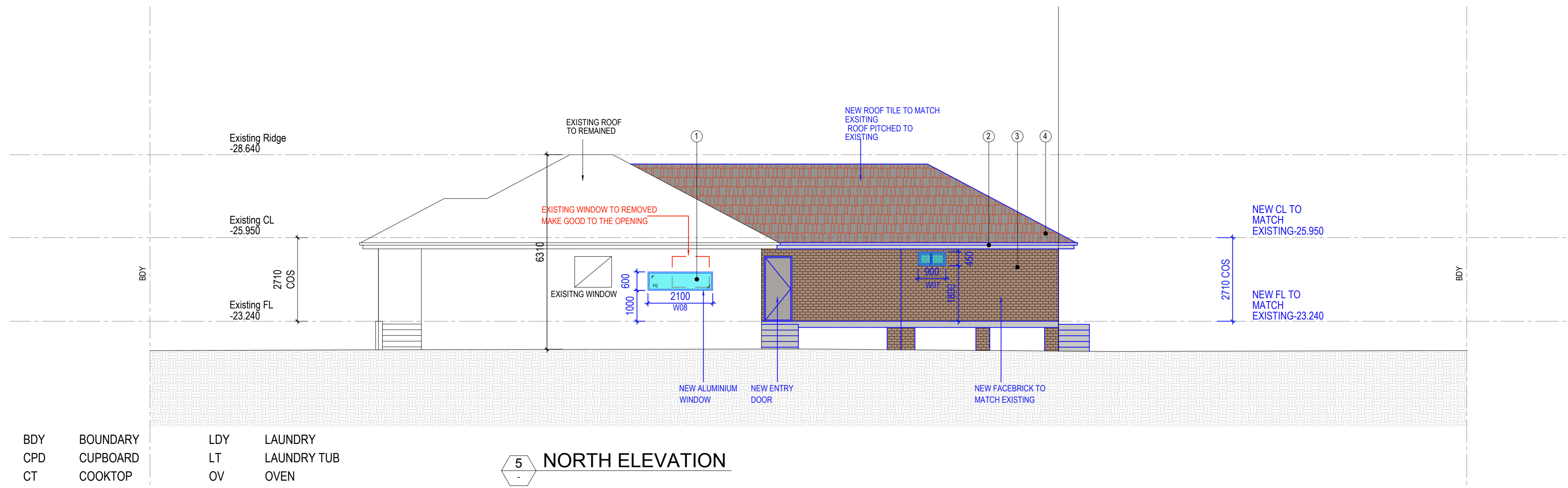
2 EAST ELEVATION
STREET ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION



5 NORTH ELEVATION

BDY	BOUNDARY	LDY	LAUNDRY
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6 EXTERNAL COLOUR SCHEDULE

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SITE LEGEND		
HATCHING INDICATES EXTENT OF CUT EXCAVATION		

Project

Proposed Renovation, Extension and Secondary Dwelling

2A Woods Road Section 2162 Lot C, DP 407822

A.06

E

Drawing

Drawn: KC

Checked: KC

Scale: 1:100 on A1, 1:200 on A3

Date: 25.05.2025

Section and Elevations

Design by:

KC

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Revision

15.10.2024

04.02.2025

08.03.2025

06.04.2025

25.05.2025

A SKETCH PLAN FOR APPROVAL

B SKETCH PLAN FOR APPROVAL

C CONSULTANT ISSUE

D CONSULTANT ISSUE

E ISSUE FOR DEVELOPMENT APPLICATION

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LEGEND

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BM	BENCH MARK
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FL	FLOOR LEVEL
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GFL	GARAGE FLOOR LEVEL
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CONCRETE HARD AREA	
TILED AREA	
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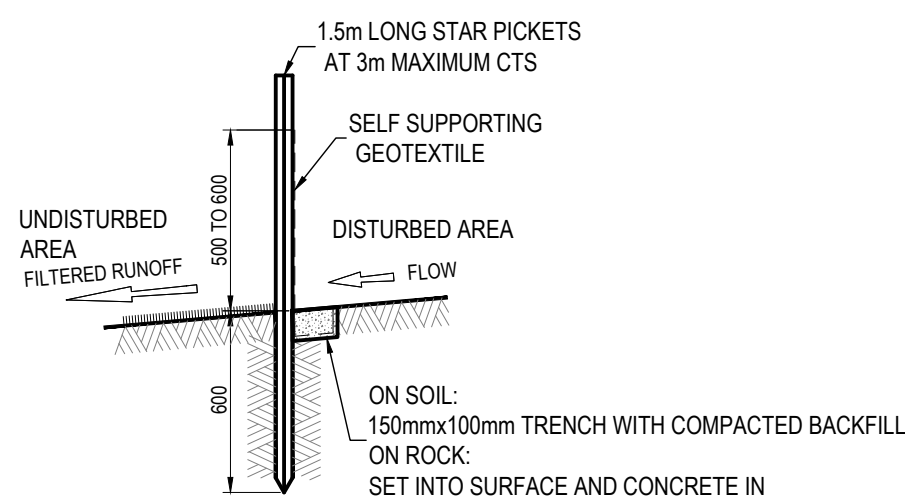
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SEDIMENT CONTROL PLAN

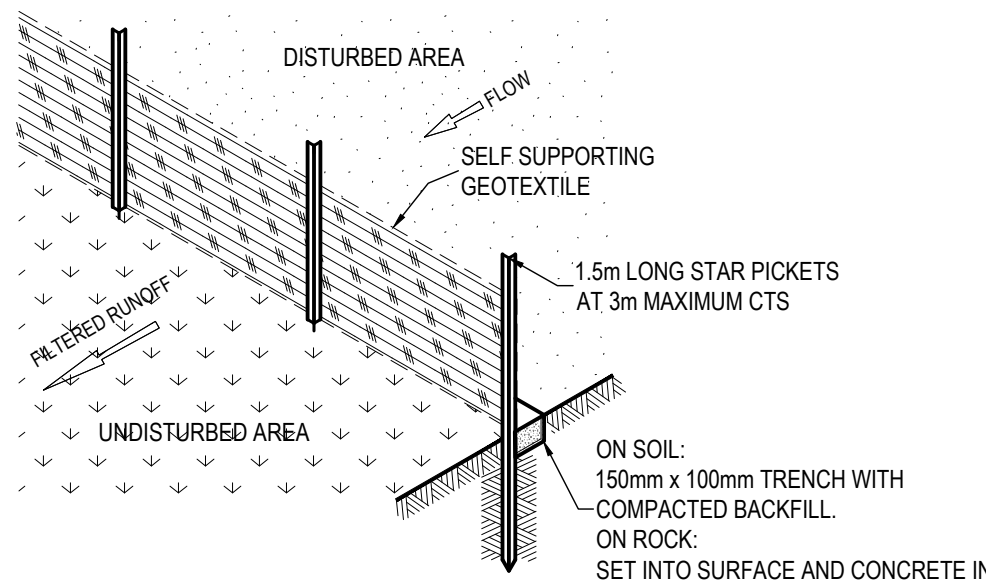
6

DP 222377

SILT FENCE (S.F.) SECTION
NOT TO SCALE

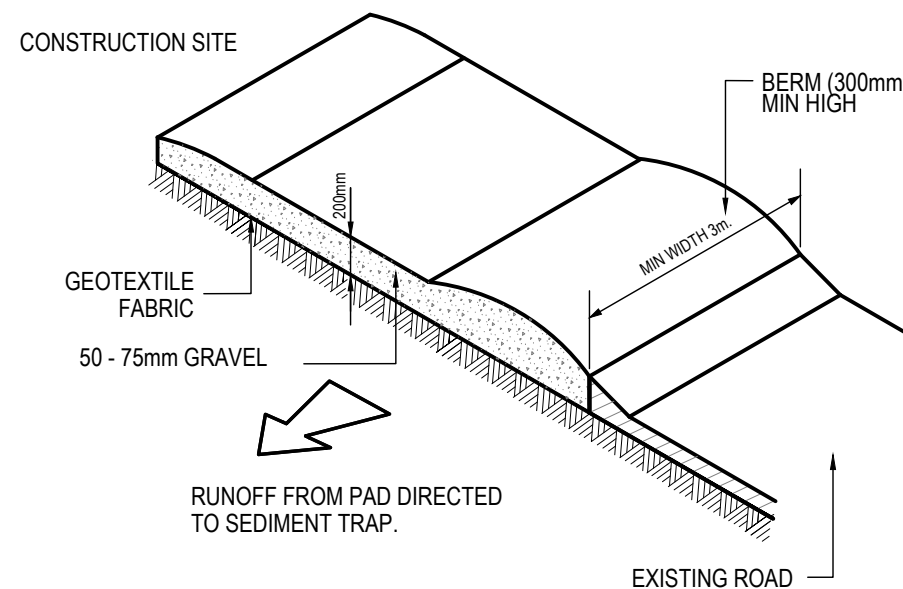
SILT FENCE CONSTRUCTION NOTES

- CONSTRUCT SILT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE
- DRIVE 1.5m LONG STAR PICKETS INTO THE GROUND AT 3m MAX CTS
- DIG A 150mm x 100mm TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED
- BACKFILL TRENCH OVER THE BASE OF THE FABRIC
- FIX SELF SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POST WITH WIRE TIES OR AS RECOMMENDED BY THE GEOTEXTILE MANUFACTURER
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP

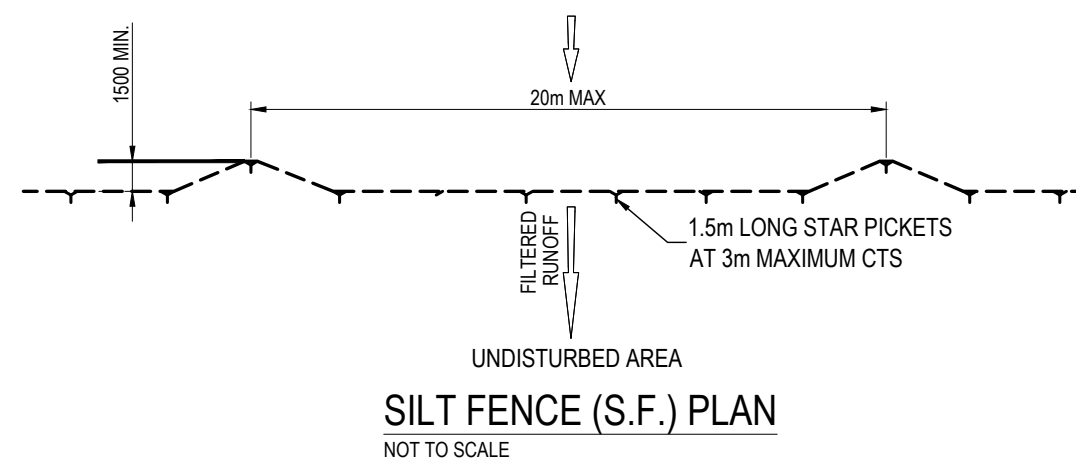
SILT FENCE (S.F.) ISOMETRIC
NOT TO SCALE

CONSTRUCTION SEQUENCE

- WHERE POSSIBLE ALL SILT FENCES, PERIMETER BANKS, SEDIMENT BASINS AND OTHER SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS A FIRST STEP IN THE CONSTRUCTION SEQUENCE
- CARRY OUT CLEARING WITHIN SCOPE OF WORKS AND BULK EARTHWORKS TAKING CARE TO MINIMIZE THE EXTENT OF DISTURBANCE DURING CONSTRUCTION
- CARRY OUT BULK EARTHWORKS IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT PLAN AND TAKING CARE TO MINIMIZE THE EXTENT OF DISTURBANCE
- ALL DISTURBED AREAS ARE TO BE HYDROSEEDING AND STRAW MULCHING UPON COMPLETION OF THE BULK EARTHWORKS. SEEDING AREAS SHALL BE WATERED DURING AND AFTER CONSTRUCTION UNTIL A UNIFORMLY DISTRIBUTED DENSE VEGETATION COVERAGE IS ESTABLISHED
- WHILE ANY AREAS REMAIN DISTURBED (ie BEFORE AND DURING RE-VEGETATION) ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE RETAINED
- AREAS WHERE DEVICES ARE REMOVED ON COMPLETION OF WORKS SHALL BE RE-INSTATED TO PRE-CONSTRUCTION CONDITIONS

STABILIZED SITE ACCESS
NOT TO SCALESTABILIZED SITE ACCESS
CONSTRUCTION NOTES

- STRIP TOP-SOIL AND LEVEL SITE
- COMPACT SUB-GRADE
- COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE
- CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH SHALL BE 15 METRES OR TO THE BUILDING ALIGNMENT. MINIMUM WIDTH SHALL BE 3 METRES
- CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR SEDIMENT TRAP

SILT FENCE (S.F.) PLAN
NOT TO SCALE

STOCKPILE CONSTRUCTION NOTES

- LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS AND HAZARD AREAS
- CONSTRUCT ON THE CONTOUR AS A LOW, FAT, ELONGATED MOUND
- WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP
- CONSTRUCT EARTH BANK ON THE UPSLOPE SIDE TO DIVERT RUNOFF AROUND THE STOCKPILE
- AND A SILT FENCE 1 TO 2 METRES DOWNSLOPE OF THE STOCKPILE
- COVER STOCKPILE WITH IMPERVIOUS MEMBRANE TO REDUCE WATER + WIND EROSION

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
1. ALL ACCESS TO SITE IS TO BE APPROVED BY SITE SUPERVISOR. 2. DO NOT WORK OUTSIDE OF APPROVED HOURS UNLESS APPROVED BY COUNCIL. 3. COUNCIL HOURS SET AS: MONDAY TO FRIDAY: 8:00AM TO 5:00PM SATURDAY: 8:00AM TO 12:00PM SUNDAY: NO WORK PUBLIC HOLIDAYS: NO WORK	1. ALL RETAINING WALLS TO BE COMPLETED TO FINISH DETAILS (IF REQUIRED). 2. DISH DRAINING (IF REQUIRED) TO AUTHORITIES' REQUIREMENTS. 3. CONCRETE PATHS, BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO SECOND SITE INSPECTION. 4. CONNECTION TO SEWER AND DRAINAGE EASEMENT TO BE TERMINATED AND CAPPED OFF BY OWNER'S TRADES PRIOR TO COMMENCEMENT OF WORKS BY MASTERION.	1. TO FORM DATUM APPROXIMATELY 100mm ABOVE FINISH LEVEL. 2. EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. 3. SITE NOT FLOOD AFFECTED DESIGN LEVELS MAY VARY BY +/- 100mm. 4. SEWER CONNECTION TO AUTHORITIES REQUIREMENTS AS PER TENDER. 5. WATER CONNECTION TO SUPPLY AUTHORITIES MAIN AS PER TENDER. 6. TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS. 7. SITE LEVELS SUBJECT TO SECOND SITE INSPECTION (KNOCKDOWN AND REBUILD ONLY). 8. SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE / BOUNDARY POSITIONS AND DRIVEWAY GRADIENT. 9. SUBJECT TO POSITION OF SERVICES. 10. PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL.

SITE LEGEND
HATCHING INDICATES EXCAVATION

Project

Drawing

Design by:

Revision

PROPOSED RENOVATIO, EXTENSION
AND SECONDARY DWELLINGPROJ. NO. 2024/SEFTON
SCALE 1:100 on A1, 1:200 on A3
DATE 25.05.2025

SEDIMENT CONTROL PLAN

2A WOODS ROAD SEFTON 2162
LOT C, DP 407822

A.07

E

15.10.2024
04.02.2025
08.03.2025
06.04.2025
25.05.2025A SKETCH PLAN FOR APPROVAL
B SKETCH PLAN FOR APPROVAL
C CONSULTANT ISSUE
D CONSULTANT ISSUE
E ISSUE FOR DEVELOPMENT APPLICATIONCOPYRIGHT 2025:
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Design & ConstructionDo not scale from drawings.
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BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1803515

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 09 July 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	2A Woods Road Sefton
Street address	2A WOODS Road SEFTON 2162
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP407822
Lot number	C
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Mr Yiu Fai Chu	
ABN (if applicable):	

page 1/7

BASIX Certificate number:A1803515

page 2/7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number:A1803515

page 3/7

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	N/A	
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number:A1803515

page 4/7

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

1 BASIX CERTIFICATE REQUIREMENTS

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
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SITE LEGEND		
HATCHING INDICATES EXTENT OF CUT EXCAVATION		

Project

Drawing

Design by:

Revision

PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING

2A WOODS ROAD SEFTON 2162

LOT C, DP 407822

A.08

D

PROJ. NO. 2024/SEFTON

SCALE NTS

DATE 25.05.2025

BASIX CERTIFICATE REQUIREMENTS

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DRAWN KC

CHECKED KC

15.10.2024

04.02.2025

08.03.2025

25.05.2025

SKETCH PLAN FOR APPROVAL

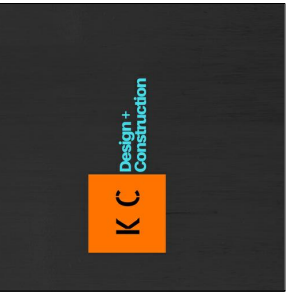
SKETCH PLAN FOR APPROVAL

CONSULTANT ISSUE

ISSUE FOR DEVELOPMENT APPLICATION

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W8	N	1.26	6.57	0.83	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1	S	0.54	0.21	1.5	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2	S	0.36	2.08	0.25	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	0.36	2.11	0.25	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	S	1.35	2.19	0.75	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W5	W	3.15	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W6	W	1.35	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W7	E	0.36	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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SITE LEGEND		
	HATCHING INDICATES EXTENT OF CUT EXCAVATION	

Design by:

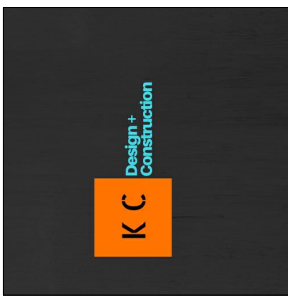
Drawing

Project

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Revision
A SKETCH PLAN FOR APPROVAL
B SKETCH PLAN FOR APPROVAL
C CONSULTANT ISSUE
D ISSUE FOR DEVELOPMENT APPLICATION

15.10.2024
04.02.2025
08.03.2025
25.05.2025



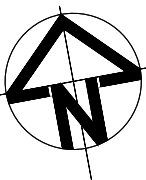
DRAWN KC
CHECKED KC
**BASIX CERTIFICATE
REQUIREMENTS**

Do not scale from drawings.
Verify all dimensions on site before commencing work.

PROJ. NO. 2024/SEFTON
SCALE NTS
DATE 25.05.2025

**PROPOSED RENOVATIO, EXTENSION
AND SECONDARY DWELLING**
2A WOODS ROAD SEFTON 2162
LOT C, DP 407822

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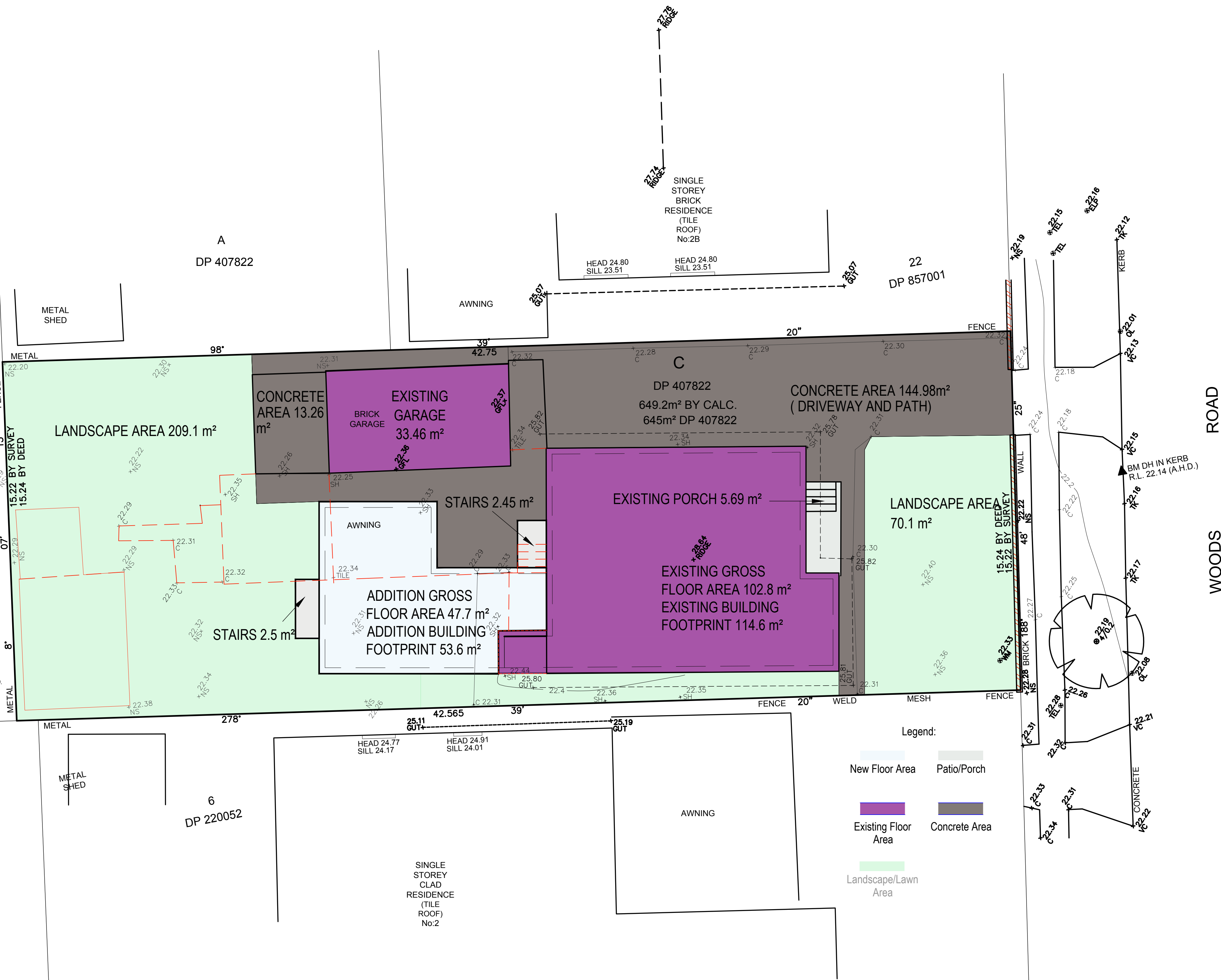
LEGEND

- AHD AUSTRALIAN HEIGHT DATUM
RL REDUCED LEVEL
BM BENCH MARK
DH DRILL HOLE
C EDGE OF CONCRETE
FL FLOOR LEVEL
EL ENTRY LEVEL
GFL GARAGE FLOOR LEVEL
PL PATIO LEVEL
GUT TOP OF GUTTER
OL OUTLET
4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
SH SPOT HEIGHT
TK TOP OF KERB
VC VEHICLE CROSSING
WM WATER METER
ELP ELECTRIC POWER POLE
TEL TELSTRA
CONCRETE HARD AREA
TILED AREA
APPROXIMATE GUTTER LINE
APPROXIMATE RIDGE LINE

NOTE:

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1 AREA CALCULATIONS



Legend:

- New Floor Area
Existing Floor Area
Concrete Area
Patio/Porch
Landscape/Lawn Area

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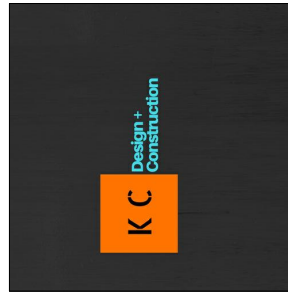
SITE LEGEND
HATCHING INDICATES EXTENT OF CUT EXCAVATION

Revision

Revision	Sketch Plan for Approval	Issue
A	SKETCH PLAN FOR APPROVAL	15.10.2024
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Design by:



Drawing

Drawing	Project
DRAWN KC	PROJ. NO. 2024/SEFTON
CHECKED KC	SCALE 1:100 on A1, 1:200 on A3
	DATE 25.05.2025

AREA CALCULATIONS

PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING

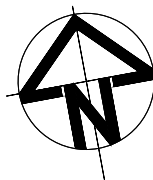
2A WOODS ROAD SEFTON 2162

LOT C, DP 407822

A.10

E

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LEGEND

AHD	AUSTRALIAN HEIGHT DATUM
RL	REDUCED LEVEL
BM	BENCH MARK
DH	DRILL HOLE
C	EDGE OF CONCRETE
FL	FLOOR LEVEL
EL	ENTRY LEVEL
GFL	GARAGE FLOOR LEVEL
PL	PATIO LEVEL
GUT	TOP OF GUTTER
OL	OUTLET
4/0.2	TREE SPREAD / TRUNK DIAMETER
NS	NATURAL SURFACE
SH	SPOT HEIGHT
TK	TOP OF KERB
VC	VEHICLE CROSSING
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EXISTING LANDSCAPE PLAN



Legend:

RUBBISH BINS	BGE
GARDEN EDGE	
CONCRETE AREA	
PAVERS	
SELECTED CLOTHES LINE	
450 x 450 CONCRETE PAVERS	

SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
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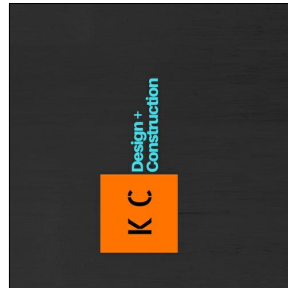
Revision

Revision	Sketch Plan for Approval	Issue
A	SKETCH PLAN FOR APPROVAL	15.10.2024
B	SKETCH PLAN FOR APPROVAL	04.02.2025
C	CONSULTANT ISSUE	08.03.2025
D	CONSULTANT ISSUE	06.04.2025
E	ISSUE FOR DEVELOPMENT APPLICATION	25.05.2025

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Design by:



Drawing

DRAWN KC

CHECKED KC

EXISTING LANDSCAPE PLAN

PROJ. NO. 2024/SEFTON

SCALE 1:100 on A1, 1:200 on A3

DATE 25.05.2025

Project

PROPOSED RENOVATION, EXTENSION AND SECONDARY DWELLING

2A WOODS ROAD SEFTON 2162

LOT C, DP 407822

A.11

Do not scale from drawings. Verify all dimensions on site before commencing work.

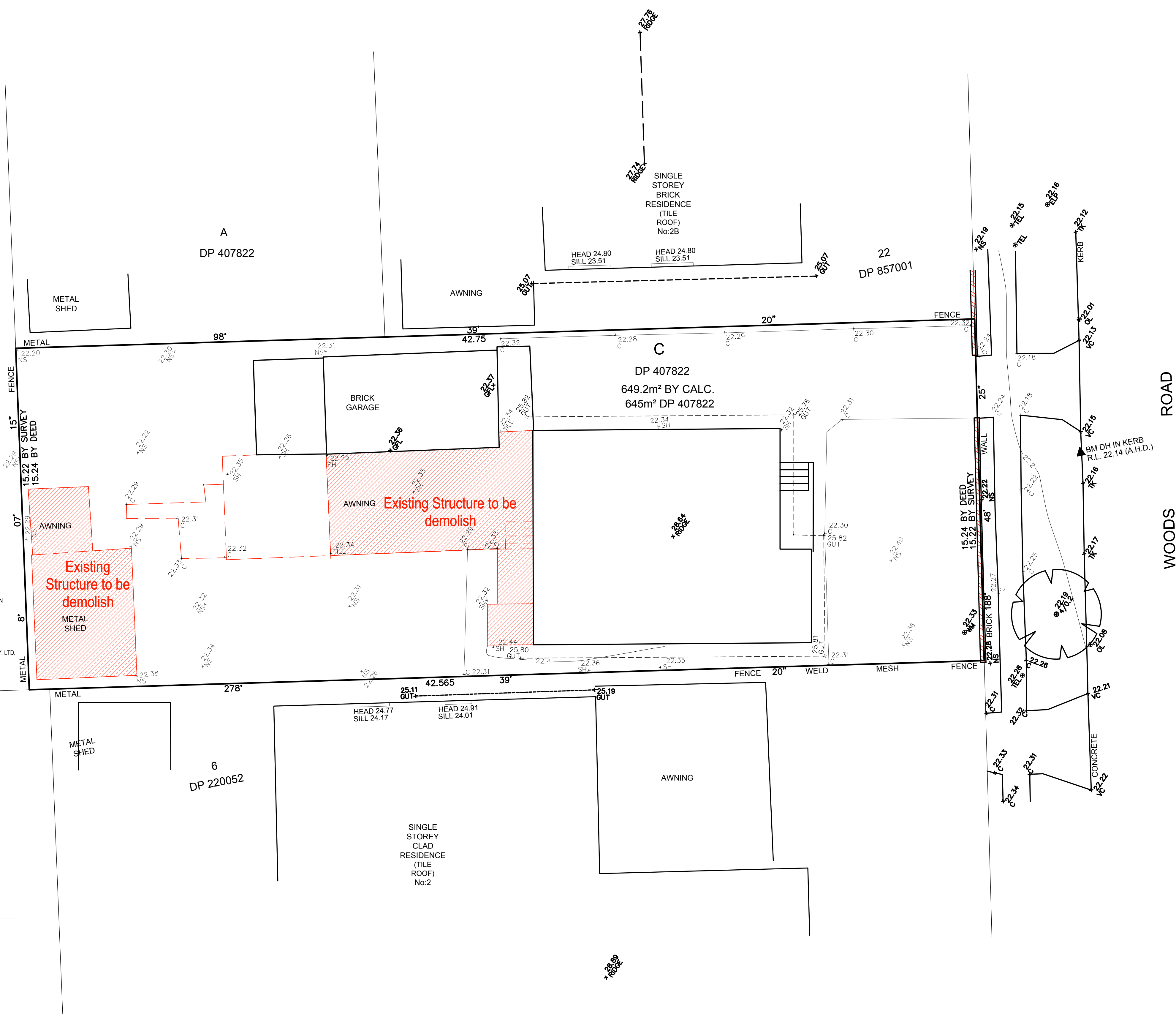
LEGEND

AHD	AUSTRALIAN HEIGHT DATUM
RL	REDUCED LEVEL
BM	BENCH MARK
DH	DRILL HOLE
C	EDGE OF CONCRETE
FL	FLOOR LEVEL
EL	ENTRY LEVEL
GFL	GARAGE FLOOR LEVEL
PL	PATIO LEVEL
GUT	TOP OF GUTTER
OL	OUTLET
4/0.2	TREE SPREAD / TRUNK DIAMETER
NS	NATURAL SURFACE
SH	SPOT HEIGHT
TK	TOP OF KERB
VC	VEHICLE CROSSING
WM	WATER METER
ELP	ELECTRIC POWER POLE
TEL	TELSTRA
CONCRETE HARD AREA	
TILED AREA	
APPROXIMATE GUTTER LINE	
APPROXIMATE RIDGE LINE	

NOTE:

- * THE TITLE BOUNDARY DIMENSIONS AND AREAS SHOWN HEREON ARE DETERMINED BY TITLE DEED ONLY AND ARE SUBJECT TO FINAL SURVEY
- * ADJOINING BUILDINGS, RIDGES AND GUTTER POSITIONS ARE APPROXIMATE ONLY
- * ONLY VISIBLE SERVICES WERE LOCATED AT TIME OF SURVEY IT IS RECOMMENDED THAT ALL RELEVANT AUTHORITIES BE NOTIFIED PRIOR TO ANY WORKS BEING COMMENCED ON SITE WE STRONGLY SUGGEST THAT YOU DIAL 1100 BEFORE YOU DIG
- * TREE SPREAD AND TRUNK DIAMETERS SHOWN IN THIS PLAN ARE INDICATIVE ONLY
- * CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS TAKEN AND ARE INDICATIVE ONLY
- * DO NOT SCALE OF THIS PLAN. WHERE CLEARANCES ARE CRITICAL THEY SHOULD BE CONFIRMED BY A FURTHER BOUNDARY SURVEY
- * COPYRIGHT OF THIS MATERIAL SHOWN HEREON AND IN THE ACCOMPANYING CAD FILES BELONGS TO NEW WAY SURVEYING PTY. LTD. NO ALTERATIONS ARE TO BE MADE TO THE DATA WITHOUT THE WRITTEN CONSENT OF NEW WAY SURVEYING PTY. LTD.

1 DEMOLITION PLAN



SITE ACCESS	ITEMS BY OWNER	EXCAVATION & SITE NOTES
1. ALL ACCESS TO SITE IS TO BE APPROVED BY SITE SUPERVISOR. 2. DO NOT WORK OUTSIDE OF APPROVED HOURS UNLESS APPROVED BY COUNCIL. 3. COUNCIL HOURS SET AS: MONDAY TO FRIDAY - 7:30 AM TO 4:30 PM SATURDAY - 7:30 AM TO 12:00 PM SUNDAY - NO WORK PUBLIC HOLIDAYS - NO WORK	1. ALL RETAINING WALLS TO BE COMPLETED TO FINISH DETAILS (IF REQUIRED). 2. DISH DRAINING (IF REQUIRED) TO AUTHORITIES REQUIREMENTS. 3. CONCRETE PATHS, BUILDINGS, ETC. TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO SECOND SITE INSPECTION. 4. CONNECTION TO SEWER AND DRAINAGE EASEMENT TO BE TERMINATED AND CAPPED OFF BY OWNER'S TRADES PRIOR TO COMMENCEMENT OF WORKS BY MASTERTON.	1. TO FORM DATUM APPROXIMATELY 100mm BELOW FINISH LEVEL OF SLAB. 2. SITE NOT FLOOD AFFECTED DESIGN LEVELS MAY VARY BY +/- 100mm. 3. SITE FLOOD AFFECTED-REFER TO FLOOD LEVEL BELOW. 4. SEWER CONNECTION TO AUTHORITIES REQUIREMENTS AS PER TENDER. 5. WATER CONNECTION TO SUPPLY AUTHORITIES MAIN AS PER TENDER. 6. TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS. 7. SITE LEVELS SUBJECT TO SECOND SITE INSPECTION (KNOCKDOWN AND REBUILD ONLY). 8. SUBJECT TO RESULTS OF A SURVEY TO CONFIRM HOUSE / BOUNDARY POSITIONS AND DRIVEWAY GRADIENT. 9. SUBJECT TO POSITION OF SERVICES. 10. PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED FFL.
SITE LEGEND		
HATCHING INDICATES EXTENT OF CUT EXCAVATION		

Project

Design by:

Revision

Demolition Plan

Demolition Plan

Demolition Plan

PROPOSED RENOVATIO, EXTENSION AND SECONDARY DWELLING

2A WOODS ROAD SEFTON 2162

LOT C, DP 407822

A.12

C

PROJ. NO. 2024/SEFTON

SCALE 1:100 on A1, 1:200 on A3

DATE 08.03.2025

DRAWN KC

CHECKED KC

15.10.2024

04.02.2025

08.03.2025

SKETCH PLAN FOR APPROVAL

SKETCH PLAN FOR APPROVAL

CONSULTANT ISSUE

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